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SHERIFF'S OFFICE
MERCER COUNTY, NJ

38-90

FIRST AMENDMENT
TO
MASTER DEED
OF
2600, A CONDOMINIUM
DATED: JULY ¹¹/₈, 1988

RECORD AND RETURN TO:
GEORGE Y. SODOWICK, ESQ.
BRACH, EICHLER, ROSENBERG, SILVER,
BERNSTEIN, HAMMER & GLADSTONE
101 EISENHOWER PARKWAY
ROSELAND, NEW JERSEY 07068

BK3986PG125

007235

FIRST AMENDMENT
TO
MASTER DEED
OF
2600, A CONDOMINIUM

THIS AMENDMENT made this 11th day of July, 1988

BY: THE HAGUE GROUP LIMITED PARTNERSHIP
having an office at
2600 Kennedy Boulevard, Jersey City, New Jersey,
hereinafter referred to as Grantor

WHEREAS, the Grantor filed a Master Deed establishing 2600, a Condominium, dated September 11, 1987 which was recorded in Deed Book 3802 at page 24, and was re-recorded on November 2, 1987 in Deed Book 3825 at page 56, and

WHEREAS, THE Grantor wishes to correct certain errors in Exhibit "C" entitled Architectural plans of "The Duncan Apartments" consisting of the basement 1st floor through the 10th floor plans prepared by Jay Sankpai, Architect, Jersey City, New Jersey, Exhibit "D" entitled Chart stating "Unit's Percentage Interest in Common Elements", and Exhibit "F" entitled By-Laws of 2600 Association, Inc., and

WHEREAS, the Master Deed permits the Grantor to correct errors provided such corrections do not affect units that have been previously sold and conveyed by the Grantor; and

WHEREAS, this Amendment shall only relate to those units still owned by the Grantor;

NOW, THEREFORE, the Grantor does hereby amend the Master Deed as follows:

1. Exhibit "C" is amended by the deletion of the architectural plans relating to the basement floor and the 10th (tenth) floor and replaced by the attached new plans.


2. Exhibit "D" entitled Chart stating "Unit's Percentage Interest in Common Elements", is hereby deleted in its entirety and replaced by the attached new Exhibit "D".


3. Exhibit "F" entitled Chart stating "Unit's Percentage Interest in Common Expenses", is hereby deleted in its entirety and replaced by the attached new Exhibit "F".

IN WITNESS WHEREOF, the Grantor has executed this First Amendment on the day and year above written.

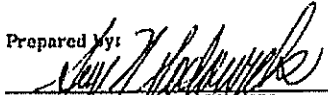
THE HAGUE GROUP LIMITED
PARTNERSHIP

WITNESS:

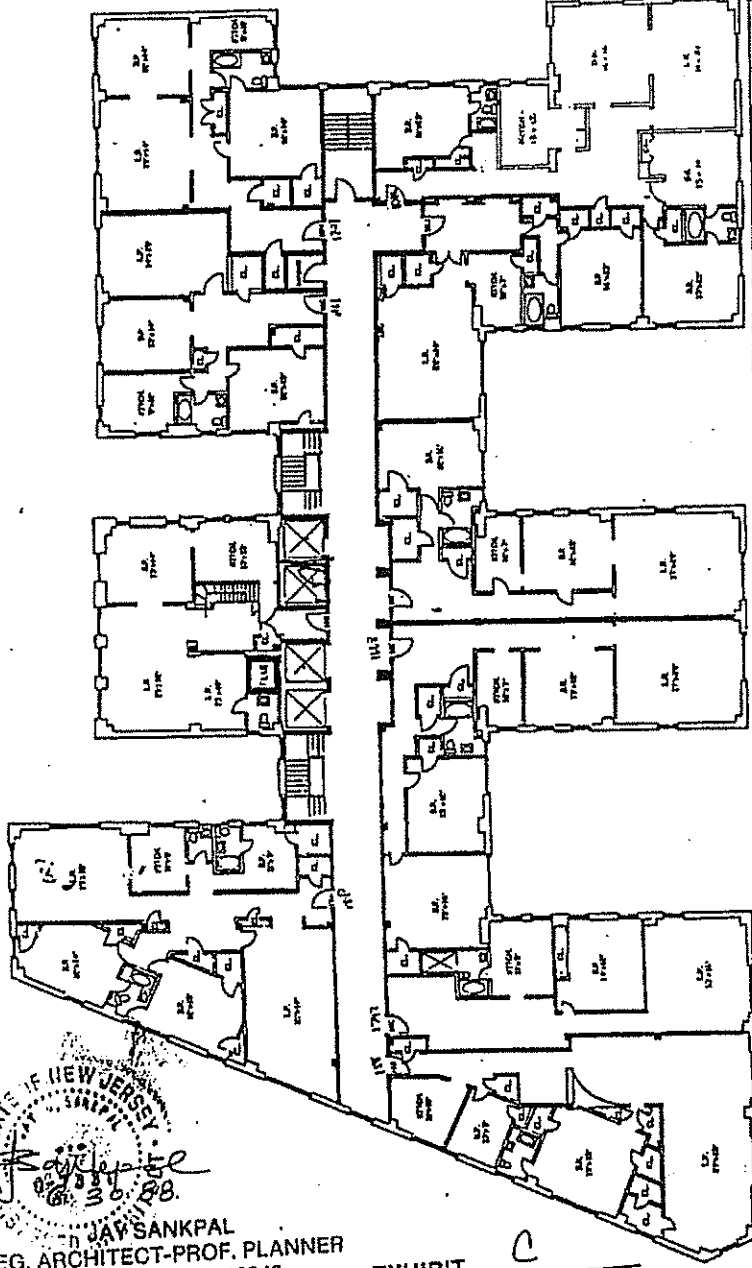

LINDA BAYNE

By 
Barry Segall, General Partner

Prepared by:


GEORGE Y. SCHOWICK, ESQ.

BK3986PG15



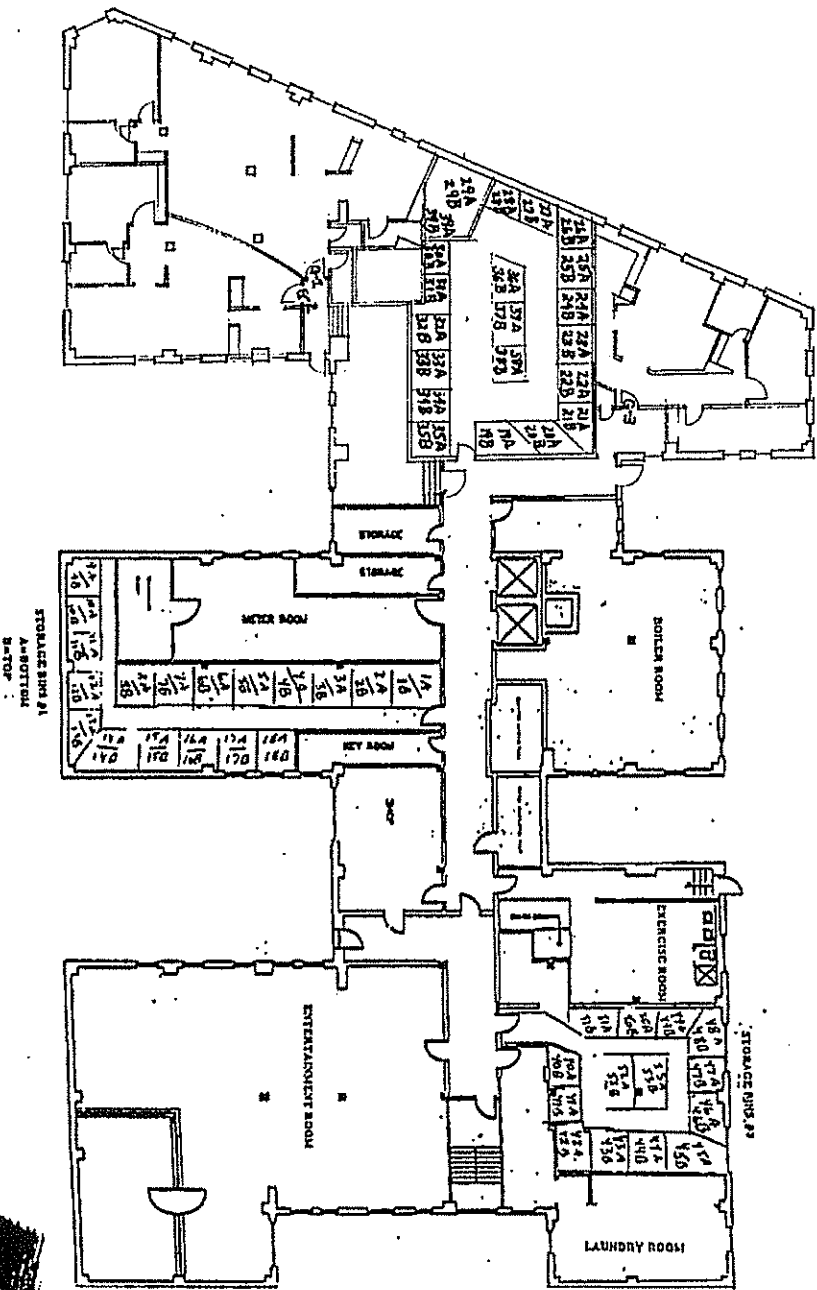
Gold Coast Properties, Inc.
 2600 Kennedy Boulevard
 Jersey City, N.J. 07306

THE DUNCAN APARTMENTS
 10th floor plan
 as shown, with and without, as applicable.
 Subject to errors and omissions.

Design Technologies, Inc.
 505 Eighth Avenue
 New York, N.Y. 10018
 212-279-4940

STATE OF NEW JERSEY
 ARCHITECTS
 JAY SANKPAL
 REG. ARCHITECT-PROF. PLANNER
 N.J. C-7338 N.Y. 013946

EXHIBIT C BK 3986 PG 16



Design Technologies, Inc.
 505 Eighth Avenue
 New York, N.Y. 10018
 212-279-1910

THE DUNCAN APARTMENTS
 BASEMENT plan

Gold Coast Properties, Inc.
 2600 Kennedy Boulevard
 Jersey City, N.J. 07306



REGISTERED ARCHITECT SANKPAL
 REG. ARCHITECT-PROF. PLANNER
 N.J. C-7338 N.Y. 013946

EXHIBIT C
 BK.3.9R6P6.1.17

UNIT'S PERCENTAGE INTEREST
IN THE COMMON ELEMENTS

1a	.8383%
1b	1.2012%
1c	.5783%
1d	.7280%
1e	.9420%
1f	.9511%
1g	.8176%
1h	.8779%
1j	.7729%
1k	1.3473%
2a	.7121%
2b	1.0506%
2c	.7008%
2d	.7280%
2e	.9420%
2f	.9511%
2g	.8176%
2h	.8666%
2j	.7729%
2k	1.3473%
2l	.6141%
2m	.3261%
3a	.7121%
3b	1.0506%
3c	.7121%
3d	.7166%
3e	.9309%
3f	.9511%
3g	.7991%
3h	.8779%
3j	.7842%
3k	1.3473%
3l	.6144%
3m	.3261%
4a	.7008%
4b	1.0506%
4c	.7121%
4d	.7280%
4e	.9420%
4f	.9622%
4g	.8289%
4h	.8779%
4j	.7462%
4k	1.3846%

EXHIBIT D

BK3986PG118

UNIT'S PERCENTAGE INTEREST
IN THE COMMON ELEMENTS

4l	.6141%
4m	.3261%
5a	.7008%
5b	1.0506%
5c	.7008%
5d	.7166%
5e	.9309%
5f	.9511%
5g	.8176%
5h	.8666%
5j	.7729%
5k	1.3579%
5l	.6144%
5m	.3261%
6a	.7121%
6b	.7815%
6c	.6350%
6d	.7166%
6e	1.0275%
6f	.9511%
6g	.8289%
6h	.8666%
6j	.7729%
6k	1.3579%
6l	.6144%
6m	.5019%
7a	.7121%
7b	1.4281%
7c	.7008%
7d	.7166%
7e	.9420%
7f	.9622%
7g	.8176%
7h	.8779%
7j	.7729%
7k	1.3579%
7l	.6144%
8a	.7008%
8b	1.4387%
8c	.9273%
8d	.7166%
8e	.7179%
8f	.9511%
8g	.8176%
8h	.8779%

UNIT'S PERCENTAGE INTEREST
IN THE COMMON ELEMENTS

8j	.7842%
8k	1.3610%
8l	.6144%
9a	.7121%
9b	.5754%
9c	1.3608%
9d	.7166%
9e	1.7526%
9g	.8289%
9h	.8667%
9j	.5509%
9k	2.0124%
9l	.6144%
10a	1.3156%
10b	1.1467%
10c	.7871%
10d	1.4454%
10e	1.2022%
10f	.9511%
10g	.8255%
10h	.8588%
10j	.7842%
10k	1.0124%
G1	.5726%
G2	.5726%
G3	.5726%

UNIT'S PERCENTAGE INTEREST
IN THE COMMON EXPENSES

1a	.7827%
1b	1.1212%
1c	.5388%
1d	.6797%
1e	.8796%
1f	.8868%
1g	.7622%
1h	.8197%
1j	.7205%
1k	1.3837%
2a	.6716%
2b	.9904%
2c	.6599%
2d	.6865%
2e	.8884%
2f	.8958%
2g	.7700%
2h	.8162%
2j	.7278%
2k	1.3330%
2l	.5791%
2m	.3064%
3a	.6782%
3b	1.0002%
3c	.6782%
3d	.6815%
3e	.8856%
3f	.9048%
3g	.7894%
3h	.8361%
3j	.7469%
3k	1.3457%
3l	.5849%
3m	.3095%
4a	.6732%
4b	1.0100%
4c	.6849%
4d	.7001%
4e	.9060%
4f	.9254%
4g	.7972%
4h	.8443%
4j	.7168%
4k	1.3962%

EXHIBIT .. F

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UNIT'S PERCENTAGE INTEREST
IN THE COMMON EXPENSES

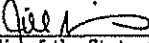
4l	.5906%
4m	.3127%
5a	.6798%
5b	1.0198%
5c	.6798%
5d	.6951%
5e	.9032%
5f	.9228%
5g	.7932%
5h	.8408%
5j	.7498%
5k	1.3820%
5l	.5962%
5m	.3159%
6a	.6982%
6b	.7656%
6c	.6226%
6d	.7019%
6e	1.0070%
6f	.9318%
6g	.8126%
6h	.8490%
6j	.7571%
6k	1.3947%
6l	.6020%
6m	.4914%
7a	.7381%
7b	1.5472%
7c	.7264%
7d	.7427%
7e	.9764%
7f	.9973%
7g	.8474%
7h	.9099%
7j	.8011%
7k	1.4708%
7l	.6140%
8a	.7330%
8b	1.6052%
8c	1.0136%
8d	.7495%
8e	.7507%
8f	.9947%
8g	.8551%
8h	.9181%

UNIT'S PERCENTAGE INTEREST
IN THE COMMON EXPENSES

8j	.8201%
8k	1.4874%
8l	.6421%
9a	.7514%
9b	.6075%
9c	1.4993%
9d	.7563%
9e	1.9305%
9g	.8746%
9h	.9147%
9j	.5816%
9k	2.0528%
9l	.6478%
10a	1.4935%
10b	1.2206%
10c	.8378%
10d	1.7427%
10e	1.2797%
10f	1.0126%
10g	.8790%
10h	.9144%
10j	.8347%
10k	1.0120%
G1	.5525%
G2	.5525%
G3	.0000%

STATE OF NEW JERSEY:
:SS.
COUNTY OF HUDSON :

BE IT REMEMBERED that on this 11th day of July, 1988, before me, the subscriber, an Attorney at Law of New Jersey, personally appeared Barry Segall, who, I am satisfied, is the General Partner in The Hague Group Limited Partnership who signed the within instrument on behalf of The Hague Group Limited Partnership, the partnership named therein, and he thereupon acknowledged that the said Instrument was signed, and delivered by him as such General Partner and is the volutary act and deed of the partnership.


A Notary Public of the State of New Jersey
ATTORNEY AT LAW
STATE OF NEW JERSEY
JILL NEVINS

BK3986PG124